

**SITE PLAN OF LOT A DISTRICT LOT 125  
OSOYOOS DIVISION YALE DISTRICT  
PLAN 39720 EXCEPT PLAN KAP68109**

PID: 011-217-367  
CLIENT: SAWCHUK DEVELOPMENTS  
CIVIC ADDRESS: 310 BANKS ROAD, KELOWNA, BC

HORIZONTAL COORDINATE SYSTEM: UTM 11 NAD83(CSRS)  
VERTICAL DATUM: CGVD28 (DERIVED FROM CANNET  
ACTIVE CONTROL STATION BC\_KELOWNA)

DATE OF FIELD SURVEY: NOVEMBER 29, 2023

REFER TO THE CURRENT STATE OF TITLE FOR CHARGES,  
LIENS, AND INTERESTS AFFECTING THIS LAND.



**LEGEND**

- Subject Property
- Major Contour (1.0m)
- Minor Contour (0.2m)
- Bollard
- Catch Basin
- Fire Hydrant
- Fence
- Cleanout
- Lamp Standard
- Traffic Light Pole
- Sign
- Transformer
- Vault
- Asphalt
- Found Standard Iron Post



DRAWING REVISIONS		
Revision #	Date	Description
0	2023-11-29	Original Issue
1		
2		
3		

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File: 2302049R0 Date: 2023-11-29  
Drafted by: NS Checked by: TF

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2302049 SITEPLAN R0

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**PROJECT DATA SUMMARY**

EXISTING CIVIC ADDRESS	310 BANKS ROAD, KELOWNA, BC, V1X 6Y4
EXISTING LEGAL ADDRESS	PLAN KAP98720 LOT A DISTRICT LOT 125 EXCEPT PLAN KAP68109
EXISTING ZONING	C2
PROPOSED PRINCIPAL USE(S)	PROFESSIONAL SERVICES
OCF (204) FUTURE LAND USE (ZONING BY-LAW#)	C-NFD (CORE AREA NEIGHBOURHOOD) - MAP 3.1 2022 KELOWNA ZONING BY-LAW - BY-LAW NUMBER #12375
PROJECT LOCATION	SOUTHEAST UNIT #1
PROPOSED PROJECT FLOOR AREA	7,624.489 R <sup>2</sup> / 708.338m <sup>2</sup>



1 VIEW 1: ARIAL VIEW, PROJECT SITE & AREA BOUNDARIES  
A1.01 / N.T.S.

SOURCE: GOOGLE MAPS



2023-12-04

Issued		
No.	Date	Issued
1	2023-12-05	ISSUED FOR DEVELOPMENT PERMIT

Revision		
No.	Date	Revision

Project Title  
**WILSON BECK  
INSURANCE  
310 BANKS ROAD  
OFFICE FIT-OUT**

310 BANKS RD., KELOWNA, BC V1X 6Y4

Drawing Number Revision

**A1.01**

Drawing Title

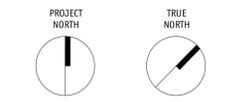
**PROJECT DATA,  
PHOTOS & SURVEY**

Job No.	1965
Scale	AS SHOWN
Drawn	T.R.
Checked	S.T.

233 BERNARD AVENUE  
KELOWNA, B.C.  
V1Y 6N2  
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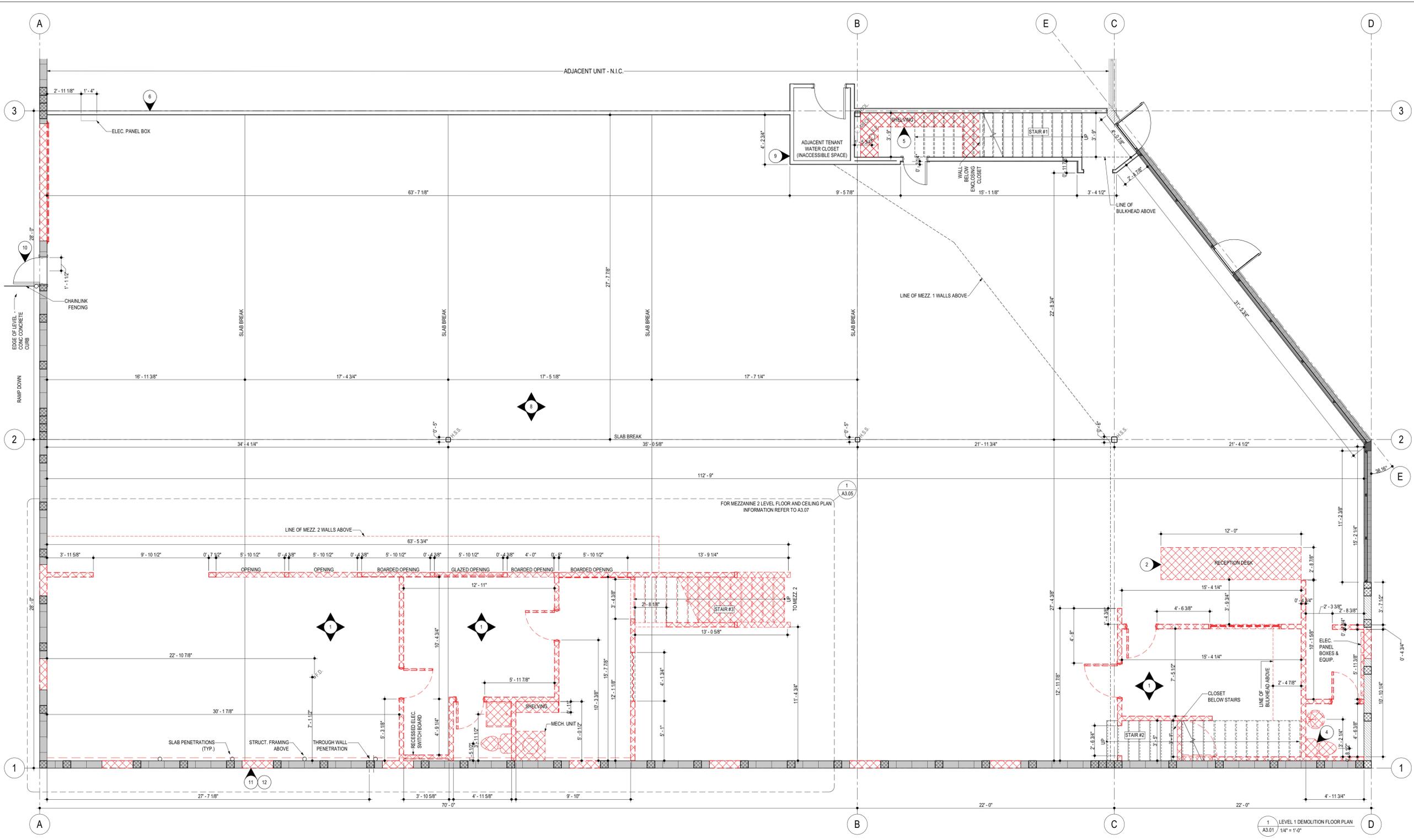
Revision	No.	Date	Revision

Project Title  
**WILSON BECK  
 INSURANCE  
 310 BANKS ROAD  
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 310 BANKS RD., KELOWNA, BC V1X 6Y4

Drawing Number  
**A3.01**

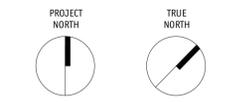
Drawing Title  
**LEVEL 1 DEMOLITION  
 FLOOR PLAN**

Job No.	1965
Scale	1/4" = 1'-0"
Drawn	T.R.
Checked	S.T.



**DEMOLITION FLOOR PLAN KEYNOTES**

- EXISTING MEZZANINE TWO: REMOVE AND DISPOSE OF ENTIRE MEZZANINE (ALL PARTITION WALLS, DOORS, WINDOWS, PLUMBING & LIGHT FIXTURES, AND SUSPENDED FLOOR STRUCTURE). - REFER TO PHOTO 2 AND 3.
- EXISTING RECEPTION DESK: REMOVE AND DISPOSE OF. - REFER TO PHOTO 4.
- EXISTING RECEPTION ROOM: REMOVE AND DISPOSE OF WALLS AND DOORS AND WINDOWS EXCEPT WALL ADJACENT TO AND SUPPORTING STAIR #2 - REFER TO PHOTO 4.
- EXISTING WASHROOM: REMOVE AND DISPOSE OF ALL PARTITIONS AND LIGHTING AND PLUMBING FIXTURES. PATCH AND FILL EXISTING HOLE IN SLAB FOR FORMER SANITARY CONNECTION.
- EXISTING CLOSET: REMOVE AND DISPOSE OF SHELVING. PATCH AND FILL EXISTING HOLE IN SLAB FOR FORMER SANITARY CONNECTION.
- EXISTING FIRE-RATED WALL BETWEEN TENANTS: FILL AND MAKE GOOD ALL HOLES (ALLOW FOR SIX 24"x24" HOLES FOR COSTING) IN WALL WITH 1/2" TYPE 'X' DRYWALL - PATCH AND MAKE GOOD EXISTING WALL. - REFER TO PHOTO 1.
- EXISTING ELECTRICAL SECURITY AND COMMUNICATION PANELS (C/W WIRING TO LEVEL 2): TO BE REMOVED AND REPLACED IN NEW FURRING WALL - REFER TO ELEC.
- EXISTING FLOORING IN ALL AREAS: REMOVE AND DISPOSE OF. PREP, PATCH, AND LEVEL SLAB FOR NEW FLOORING.
- EXISTING SANITARY PIPING AND LOCALIZED OPENING: REMOVE AND DISPOSE OF. PATCH AND MAKE GOOD EXISTING FIRE-RATED WALL.
- EXISTING EXTERIOR EXIT DOOR: REMOVE AND DISPOSE OF. REPLACE WITH NEW 3' WIDE INSULATED HOLLOW METAL DOOR IN PRESSED STEEL FRAME. MODIFY OPENING IN EXISTING C.M.U. WALL TO SUIT.
- EXISTING C.M.U. WALL: CUT, REMOVE AND DISPOSE OF BLOCKS IN EACH 32" WIDE OPENING (2 X 16" WIDE C.M.U. BLOCK) INTENDED TO RECEIVE NEW WINDOWS - REFER TO RENOVATION DRAWING FOR WINDOW LOCATIONS. - REFER TO STRU.
- EXISTING LANDSCAPE: ALLOW FOR MINOR REWORK OF LANDSCAPE DUE TO WORK EXTERIOR REQUIRED FOR NEW WINDOWS. NEW LANDSCAPE AREAS AT PERIMETER TO BE A MIN 12" WIDE GRAVEL DRAINAGE STRIP.



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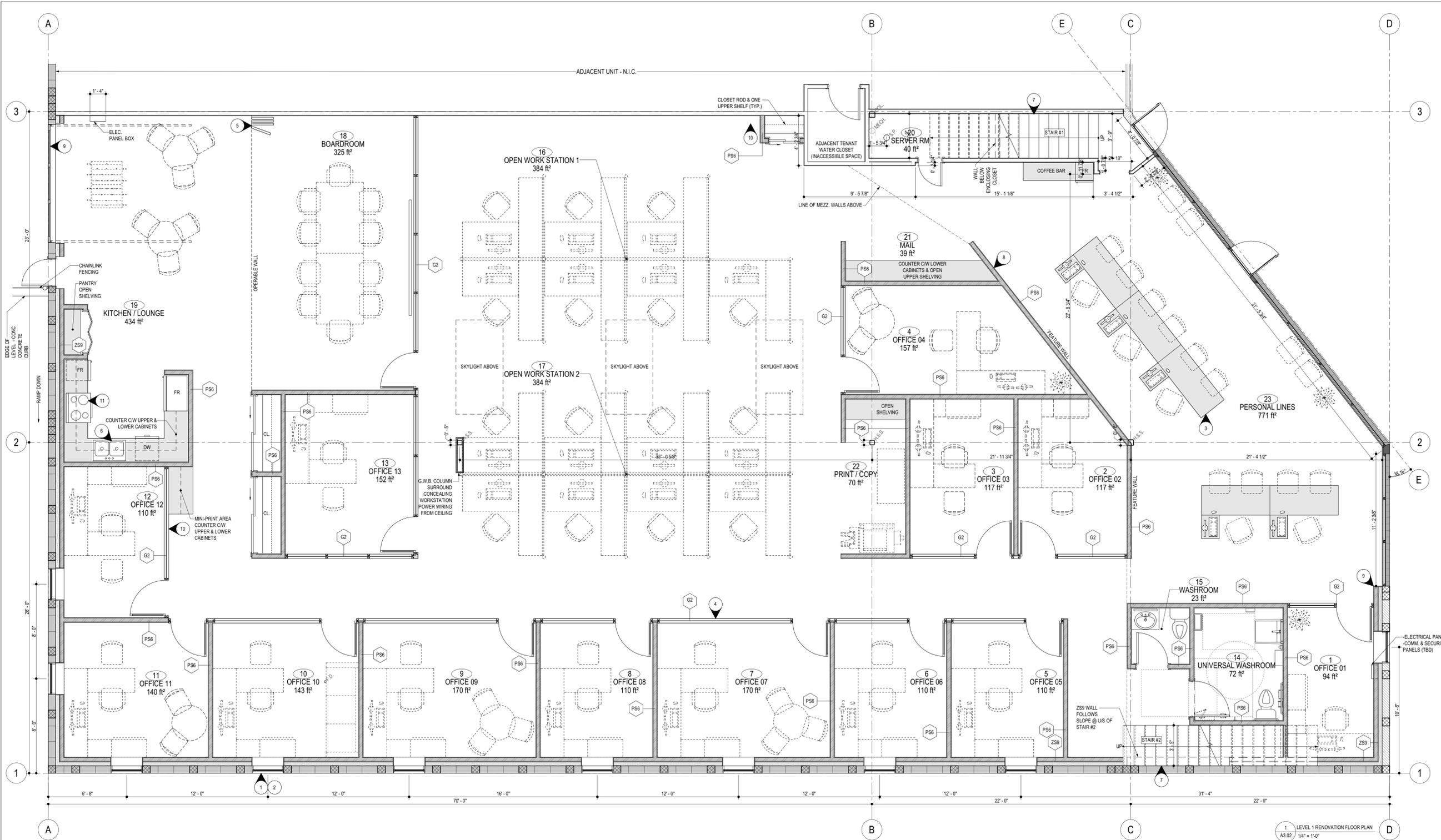
Revision		
No.	Date	Revision

Project Title  
**WILSON BECK  
 INSURANCE  
 310 BANKS ROAD  
 OFFICE FIT-OUT**  
 310 BANKS RD., KELOWNA, BC V1X 6Y4

Drawing Number  
**A3.02**

Drawing Title  
**LEVEL 1 RENOVATION  
 FLOOR PLAN**

Job No.	1965
Scale	1/4" = 1'-0"
Drawn	T.R.
Checked	S.T.



- RENOVATION FLOOR PLAN KEYNOTES**
- NEW WINDOWS:**  
 DOUBLE GLAZED VISION GLASS SAT IN THERMALLY BROKEN CLEAR ANODIZED STOREFRONT GLAZING FRAMES C/W ALUMINIUM FLASHINGS AND PEEL AND STICK (4 SIDES).  
 REFER TO A4 G2 - RENOVATION ELEVATION
  - NEW WINDOW LOCATIONS:**  
 LOCATIONS SHOWN ARE APPROXIMATE FOR COSTING - FINAL LOCATIONS TO BE DETERMINED UPON COMPLETION OF SCANNING WALL TO DETERMINE EXISTING LOCATIONS OF VERTICAL RE-INFORCING. EXISTING DRAWINGS SHOW THIS AT 48" O.C. (3 C.M.U. BLOCKS) - CURRENT WINDOW LOCATIONS BASED ON THIS SPACING. PARTITION WALLS BETWEEN OFFICES TO BE ADJUSTED TO SUIT FINAL WINDOW LOCATIONS.
  - NEW PERSONAL LINE DESKS:**  
 FOR COSTING ALLOW FOR CUSTOM MILLWORK C/W WOOD VENEER AND P-LAM COUNTERTOPS. ALL OTHER MILLWORK TO BE COSTED AS FINISHED IN P-LAM.
  - OFFICE GLAZING:**  
 TO BE PRICED OUT AS STOREFRONT AS SHOWN IN G2 ASSEMBLY, AND ALSO BY WALL-TEK (SUPPLIER OF DEMONTABLE PARTITION WALL SYSTEMS).  
 WALL-TEK CONTACT IS: CHRIS WEBSTER @ 250.215.5991
  - OPERABLE WALL:**  
 HEIGHT 8' (89") - FOR COSTING PURPOSES PRICE OUT THE FOLLOWING 2 OPTIONS:  
 A) MODERCO WALL: SERIES 700, STANDARD FRAME FINISH, TELESCOPIC CLOSURE METHOD, TRIMLESS PANEL TRIMS, STANDARD VINYL SKIN FINISH.  
 FOR MODERCO WALL ONLY ALLOW FOR STRUCTURAL SUPPORT (4"x4" H.S.S.) ABOVE 9', TRANSITION TO PAINTED DUCTWORK - REFER TO MECH.  
 B) FALK BUILT: WAIVE OPERABLE WALL, FLOOR MOUNTED, CONTINUOUSLY HINGED, SOLID PANELS, ALUMINIUM FRAME, STC-43 MIN.  
 FALK CONTACT IS: NICK TRAHAN @ 604.360.4198
  - NEW PLUMBING FIXTURES:**  
 SLAB TRENCHING REQUIRED FOR NEW FIXTURE SANITARY TIE-INS - REFER TO EXISTING DRAWINGS & MECH.
  - EXISTING STAIRS:**  
 NEW HANDRAILS C/W BCBC REQUIRED EXTENSIONS AT TOP & BOTTOM REQUIRED - ALLOW FOR 1.5in DIA. METAL PIPE PAINTED
  - FEATURE WALL:**  
 ALLOW FOR FEATURE VINYL WALL COVERING, FULL HEIGHT AND FULL WIDTH.
  - GARAGE DOOR:**  
 REPLACE EXISTING DOOR WITH NEW ALUMINIUM GARAGE DOOR, MULTI-PANED (3 WIDE, 4 HIGH), CLEAR ANODIZED FINISH C/W CHAIN PULL.
  - LOW LEVEL RETURN AIR DUCT SURROUND:**  
 3/8" STEEL STD. FLURRING WALL WRAPPING RIA DUCT UP TO 9" (SIZE T.B.D.), ABOVE 9', TRANSITION TO PAINTED DUCTWORK - REFER TO MECH.
  - RANGE HOOD EXHAUST DUCT:**  
 ALLOW FOR PENETRATIONS THROUGH WALL C/W SEALANT - REFER TO MECH.



4 VIEW 4: VIEW EAST FROM BANKS ROAD  
A4.01 N.T.S.

SOURCE: GOOGLE MAPS



5 VIEW 5: VIEW SOUTH FROM BARON ROAD  
A4.01 N.T.S.

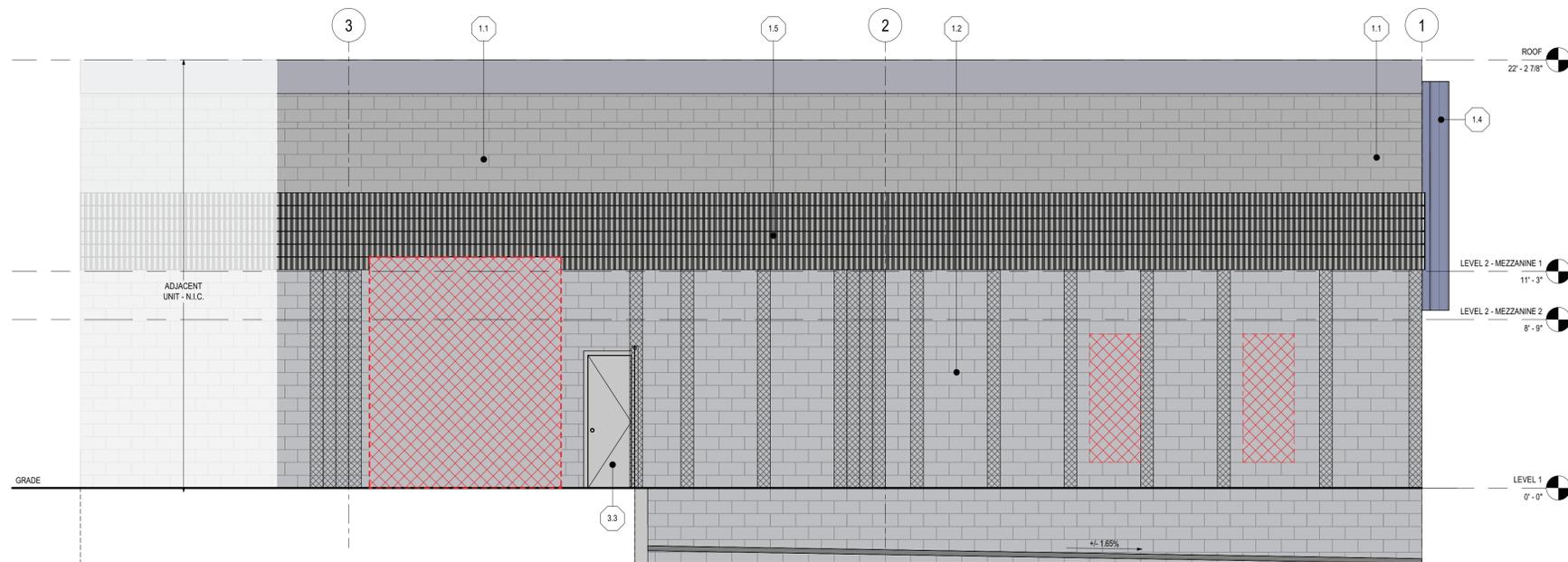
SOURCE: GOOGLE MAPS



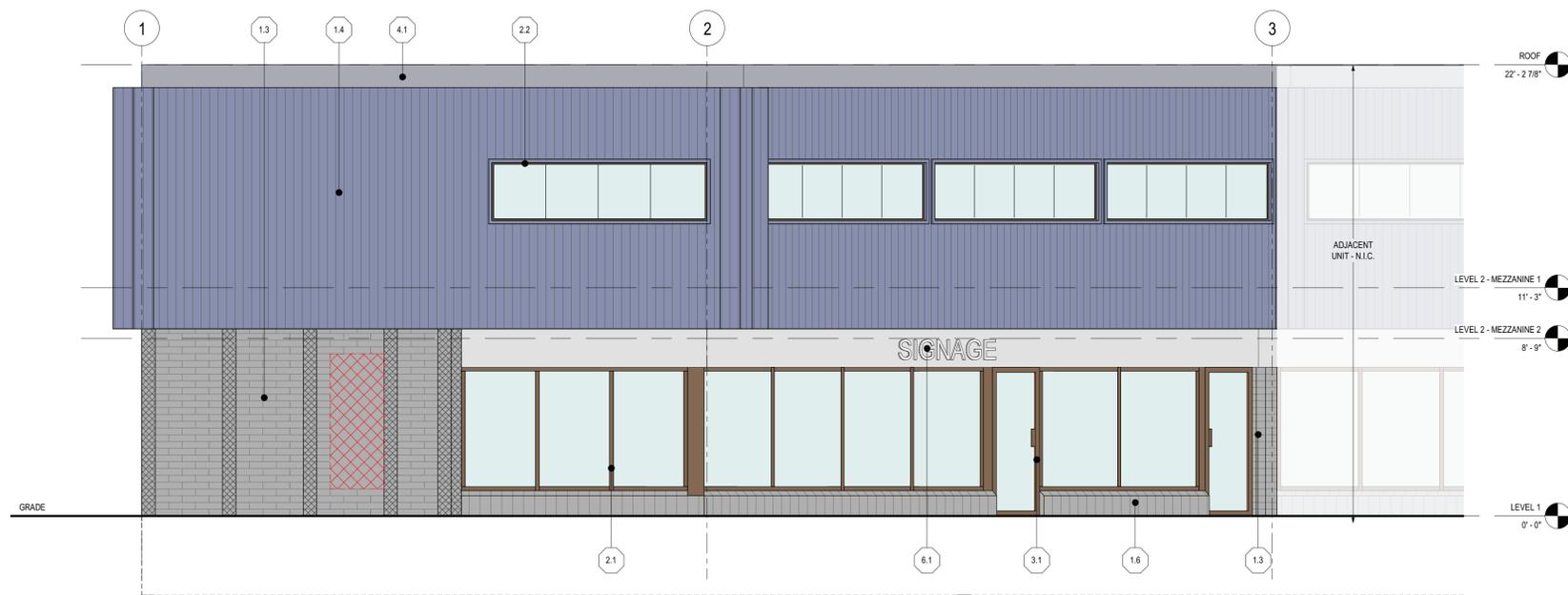
6 VIEW 6: VIEW WEST FROM BARON ROAD  
A4.01 N.T.S.

SOURCE: GOOGLE MAPS

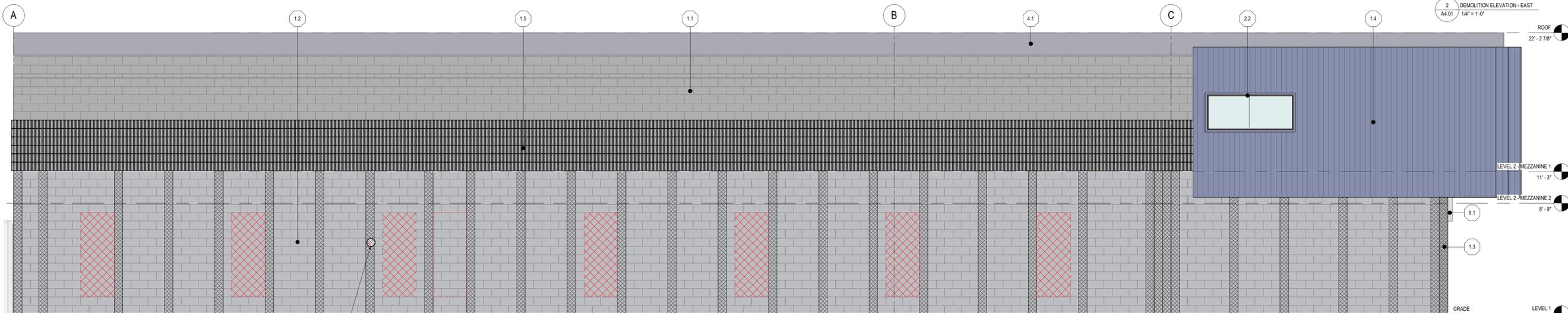
BUILDING ELEVATION LEGEND	
	HATCH DENOTES NEW OPENING IN EXISTING C.M.U. WALL CW WINDOW
	HATCH DENOTES EXISTING VERTICAL RE-INFORCING REBAR LOCATIONS IN C.M.U. WALL



1 DEMOLITION ELEVATION - WEST  
A4.01 1/4" = 1'-0"



2 DEMOLITION ELEVATION - EAST  
A4.01 1/4" = 1'-0"



3 DEMOLITION ELEVATION - SOUTH  
A4.01 1/4" = 1'-0"

233 BERNARD AVENUE  
KELOWNA, B.C.  
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MEIKLEJOHN ARCHITECTS INC.



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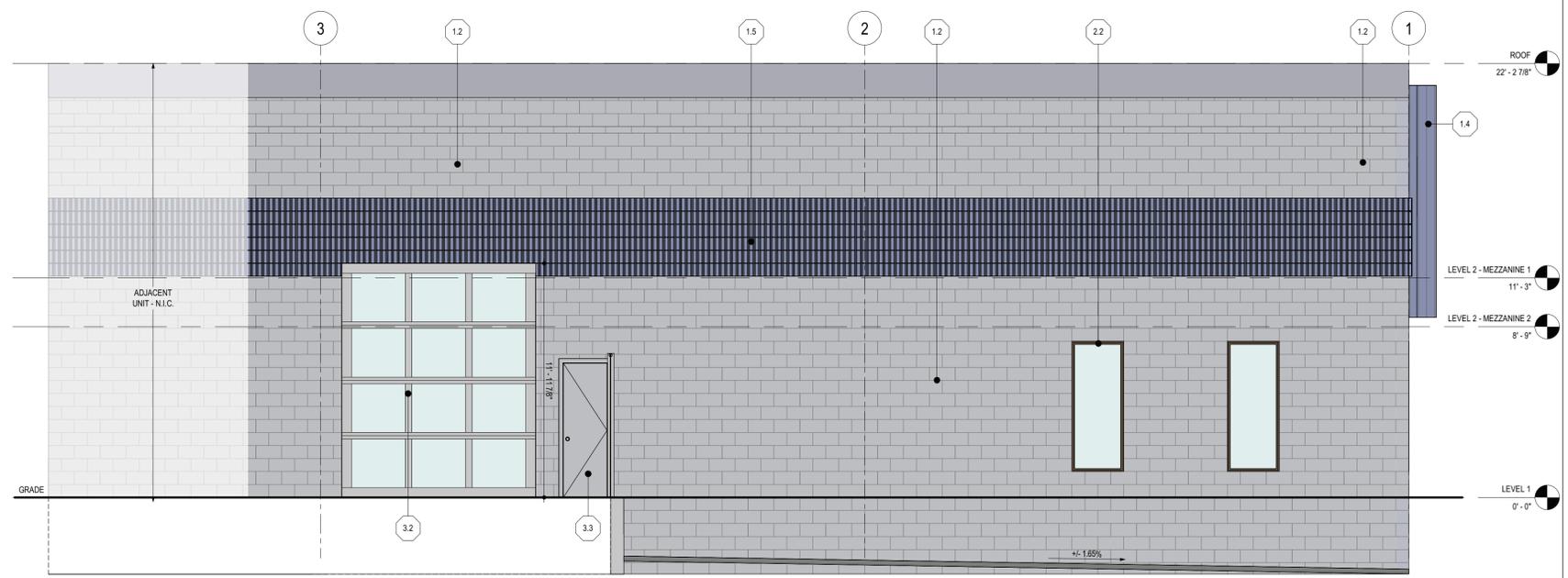
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310 BANKS ROAD  
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310 BANKS RD., KELOWNA, BC V1X 6Y4

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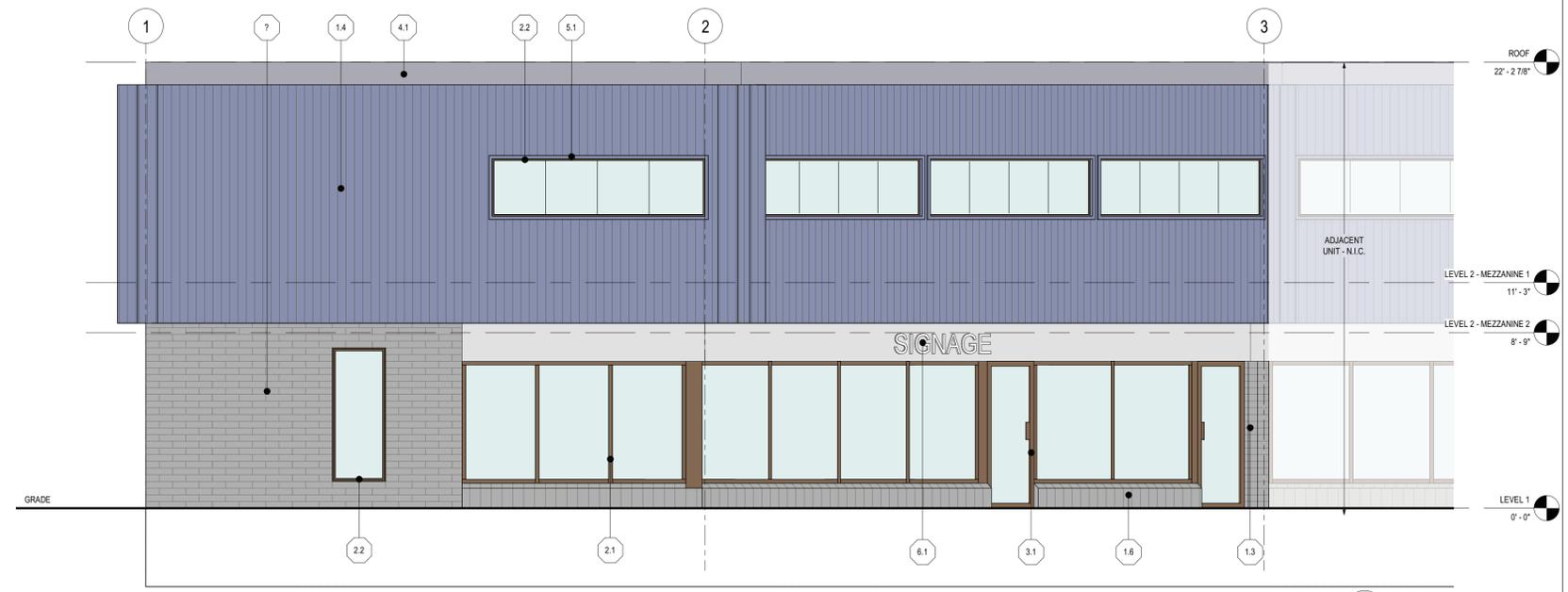
Drawing Title  
**DEMOLITION BUILDING  
ELEVATIONS**

Job No. 1965  
Scale 1/4" = 1'-0"  
Drawn T.R.  
Checked S.T.

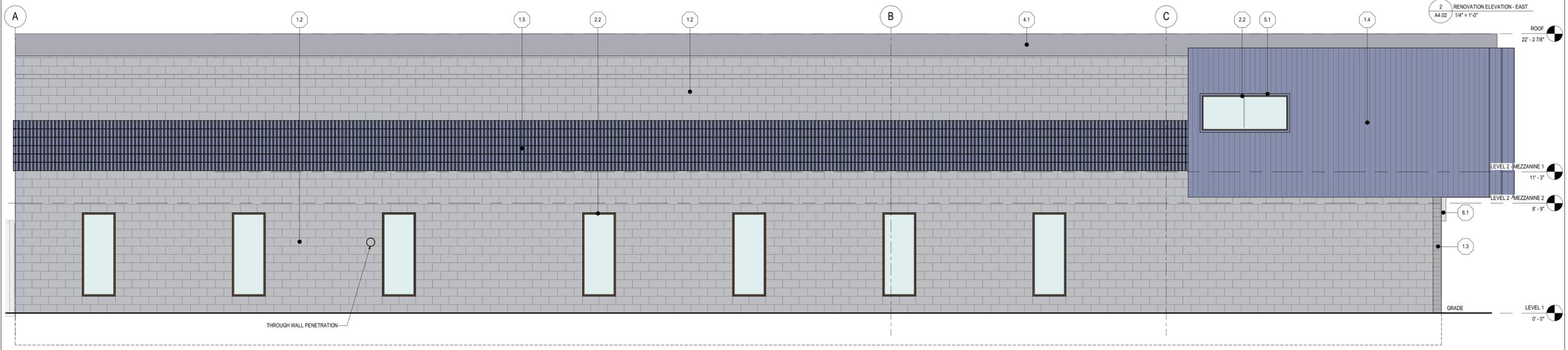
BUILDING ELEVATION KEYNOTE SCHEDULE				
	EXIST/ NEW	MATERIAL	COLOUR	FINISH
<b>1.0 CLADDING</b>				
1.1	EXISTING	EXPOSED CONCRETE BLOCK	MEDIUM GRAY	PAINTED
1.2	EXISTING	PAINTED CONCRETE BLOCK	LIGHT BLUE / GRAY	REPAINTED SAME COLOUR
1.3	EXISTING	PAINTED RUNNING COURSE BRICK	MEDIUM GRAY	REPAINTED SAME COLOUR
1.4	EXISTING	PAINTED PROFILED METAL PANEL	MEDIUM BLUE / GRAY	PREFINISHED - LEFT AS IS
1.5	EXISTING	EXPOSED SPLIT FACED / BUSH HAMMERED CONCRETE BLOCK	MEDIUM GRAY	PAINTED
1.6	EXISTING	PAINTED SOLDIER COURSE CHAMFERED BRICK	MEDIUM GRAY	REPAINTED SAME COLOUR
<b>2.0 WINDOWS</b>				
2.1	EXISTING	ALUMINIUM STOREFRONT GLAZING	BRONZE ANODIZED	LEFT AS IS
		VISION GLAZING	CLEAR / NO TINT	
2.2	NEW	ALUMINIUM STOREFRONT GLAZING	BRONZE ANODIZED	PREFINISHED
		VISION GLAZING	CLEAR / NO TINT	
<b>3.0 DOORS</b>				
3.1	EXISTING	ALUMINIUM & GLASS	BRONZE ANODIZED	LEFT AS IS
		VISION GLAZING	CLEAR / NO TINT	
3.2	NEW	ALUMINIUM & GLASS OVERHEAD GARAGE DOOR	MEDIUM GRAY	FACTORY FINISHED
		VISION GLAZING	CLEAR / NO TINT	
3.3	EXISTING	METAL DOOR	LIGHT BLUE / GRAY	PAINTED TO MATCH ADJACENT WALL
<b>4.0 ROOFS / FLASHINGS</b>				
4.1	EXISTING	PARAPET CAP FLASHINGS	MEDIUM BLUE / GRAY	LEFT AS IS
<b>5.0 TRIMS</b>				
5.1	EXISTING	METAL TRIM FLASHINGS	MEDIUM BLUE / GRAY	LEFT AS IS
<b>6.0 SPECIALTIES</b>				
6.1	NEW	SIGNAGE		T.B.D. BY OWNER



1 RENOVATION ELEVATION - WEST  
A4.02 1/4" = 1'-0"



2 RENOVATION ELEVATION - EAST  
A4.02 1/4" = 1'-0"



3 RENOVATION ELEVATION - SOUTH  
A4.02 1/4" = 1'-0"

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OFFICE FIT-OUT  
310 BANKS RD., KELOWNA, BC V1X 6Y4

Drawing Number  
**A4.02**

Drawing Title  
**RENOVATION BUILDING ELEVATIONS**

Job No.	1965
Scale	1/4" = 1'-0"
Drawn	T.R.
Checked	S.T.